



SOUTH NATION
CONSERVATION
DE LA NATION SUD

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Board of Directors

Section 28 Hearing Agenda

Date: February 15, 2024

Time: 9:30 am

Location: Watershed Room, SNC

Address: 38 Victoria Street, Finch, ON K0C 1K0



Board of Directors

Section 28 Hearing Agenda

February 15, 2024 at 9:30 am

1. Roll Call
2. Chair's Remarks
3. Declaration of Conflict of Interest
4. Presentation of Staff Information: Alison McDonald and Sandra Mancini
 - a. Staff Report - 2023-CLR-R010 3-5
 - b. SNC Engineering Review - 2023-CLR-R010 6-7
 - c. Lascelles Revised Grading & Drainage Plan 2023-CLR-R010 8
5. Presentation of Applicant Information: Dannie Villeneuve
 - a. Revised Application 2023-CLR-R010 9-14
 - b. Letter of Rationale 2023-CLR-R010 15-18
6. Questions
7. Deliberation and Decision
8. Adjournment

Carl Bickerdike,
Chief Administrative Officer.

/rb



To: Board of Directors
From: Alison McDonald, Managing Director, Approvals
Date: January 16, 2024
Subject: Permit Application 2023-CLR-R010, 170 Voisine Road, Rockland

RECOMMENDATION:

The SNC Board of Directors approve application 2023-CLR-R010 with conditions, made under Ontario Regulation 170/06: Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses, under Section 28 of the *Conservation Authorities Act*.

INTRODUCTION:

1. This report was prepared by South Nation Conservation (SNC) Staff for the Board of Directors hearing on February 15, 2024, at 9:00 a.m.
2. The subject of the hearing is permit application 2023-CLR-R010 made by Dannie G. Villeneuve (“the Applicant”), to demolish an existing dwelling and construct a new dwelling and new private septic system.

This report contains the following:

- Permit Application Form, Ontario Regulation 170/06: Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses, made pursuant to Section 28 of the *Conservation Authorities Act*, signed by Dannie G. Villeneuve, dated November 17, 2023
- Letter of Rationale prepared by the applicant.
- Drawing: “Conceptual Site Grading & Drainage Plan”, prepared by Lascelles Engineering and Associates Ltd., signed, stamped, and dated by M.C.M. Rodrigue on Nov 09, 2023.
- Technical review comments prepared by SNC engineering team.





THE APPLICATION:

1. The Applicant proposes to demolish the existing dwelling and construct a new dwelling and new private septic system;
 - a. The existing dwelling has a basement living space.
 - b. The Applicant proposes a new single-story dwelling without a basement.
 - c. The proposed footprint will be larger than the existing dwelling;
2. The regulatory flood elevation at this location has been determined to be 44.12 meters above sea level (CGVD2013);
3. The Applicant has demonstrated the proposed dwelling can be floodproofed to meet SNC Regulation Policies 7.1.2(c); and
4. The Applicant demonstrated the proposed development will not have a negative impact on upstream and downstream properties.

ISSUE BEFORE THE BOARD:

1. The subject property and access road are entirely within the regulatory floodplain of the Ottawa River. During a 100-year flood event, the access road would be inundated with 1.4 m of flood water;
2. The proposal to enlarge the ground floor footprint is contrary to SNC Regulation Policies since safe access is not available during a 100-year flood event;
 - a. Specifically, SNC Regulation Policies Section 7.1.2-7.1.4 do not permit additions to the building footprint in the flooding hazard except where safe access is established.
3. The Ontario Provincial Policy Statement states that all development must have safe access appropriate for the nature of the development and the natural hazard.

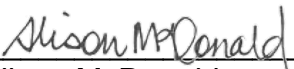


CONCLUSION:

The Applicant proposes to reconstruct the dwelling with all habitable floor space above the regulatory flood elevation, and the number of dwelling units will remain the same. SNC staff do not object to the application, with conditions.

Should the Board of Directors approve the permit, staff recommend the permit contain conditions that satisfy SNC Regulation Policies, save for the proposed exceptions granted herein, including:

- 1) The reconstruction must meet the flood proofing requirements found within the Ministry of Natural Resources Technical Guide - River and Stream Systems: Flooding Hazard Limit (2002).
- 2) The reconstruction must demonstrate no impact on neighbouring properties.
- 3) The lowest opening into the dwelling be set at the 100-year flood elevation plus wave uprush.
- 4) The proposed elevation for the septic's outlet be higher than the 100-year flood elevation.
- 5) A 6-meter erosion access allowance be provided.
- 6) Staff also recommend The Applicant establish an emergency plan with the City of Clarence-Rockland to ensure in the event of a flood, access routes are clearly marked, and any other issues have been adequately addressed.


Alison McDonald
Managing Director, Approvals



January 18, 2024

South Nation Conservation
38 Victoria Street
Finch, Ontario
K0C 1K0
Attn: Alison McDonald, Managing Director, Approvals

Residential Reconstruction with Private Septic Sewage System
Permit # 2023-CLR-R010
170 Voisine Road
Rockland, Ontario

South Nation Conservation (SNC) reviewed the following documents:

- Lascelles Revised Conceptual Grading & Drainage Plan 2023-CLR-R010; Prepared by Lascelles Engineering and Associates Limited, signed, stamped, and dated Nov 9, 2023.
- Private Septic System Design; Prepared by Lascelles Engineering and Associates Limited, Not signed, Not stamped, and dated Feb 1, 2023.

SNC offers the following comments regarding the above-noted development:

A. Flooding Hazard

A.1. Dwelling:

The 100-year flood elevation and flood hazard elevations (which includes wave uprush) at 170 Voisine Road are 44.37 and 45.43 (CGVD 1928). According to the “Conceptual site grading & drainage plan – Nov 09, 2023” proposed by Lascelles Engineering and Associates Limited, the site will be filled and raised to 45.25 (CGVD 1928). The Top of Slab (TOS) of the proposed dwelling and detached garage has an elevation of 45.45 (CGVD 1928). It is assumed that the lowest elevation of the house will be 45.45 (CGVD 1928). A 4:1 slope has been proposed to gradually extend the fill to the natural ground.

The proposed dwelling will be constructed 1.08 m above the 100-year flood elevation and 0.02 m above the flood hazard elevation.

The lowest opening into the dwelling should be set at the maximum of 100-year flood elevation plus 0.3 m (44.67), and 100-year flood elevation plus wave uprush (45.43). In this case, the lowest opening should be set at 45.43 or higher (CGVD 1928).





The access road will be flooded for a depth of 1.4 m in a 100-year flood event. This depth could be increased due to the effects of wind and wave.

A.2. Septic:

According to the "Private Septic System Design Feb 01, 2023" drawing, the proposed elevation for the septic's outlet pipe is 45.27 (CGVD 1928). This is higher than the 100-year flood elevation (44.37).

B. Erosion Hazard:

There is no concern regarding the stability of the slope at this location. Also, the aerial imagery shows that the shoreline is protected. The proposed maps show that there is a 3-meter access allowance available on the west side of the property.

According to MNR guidelines, a 6-meter erosion access allowance should be provided. The proposed 3 meters is enough considering access to the shoreline from the Ottawa River for any repair.

C. Neighboring Properties

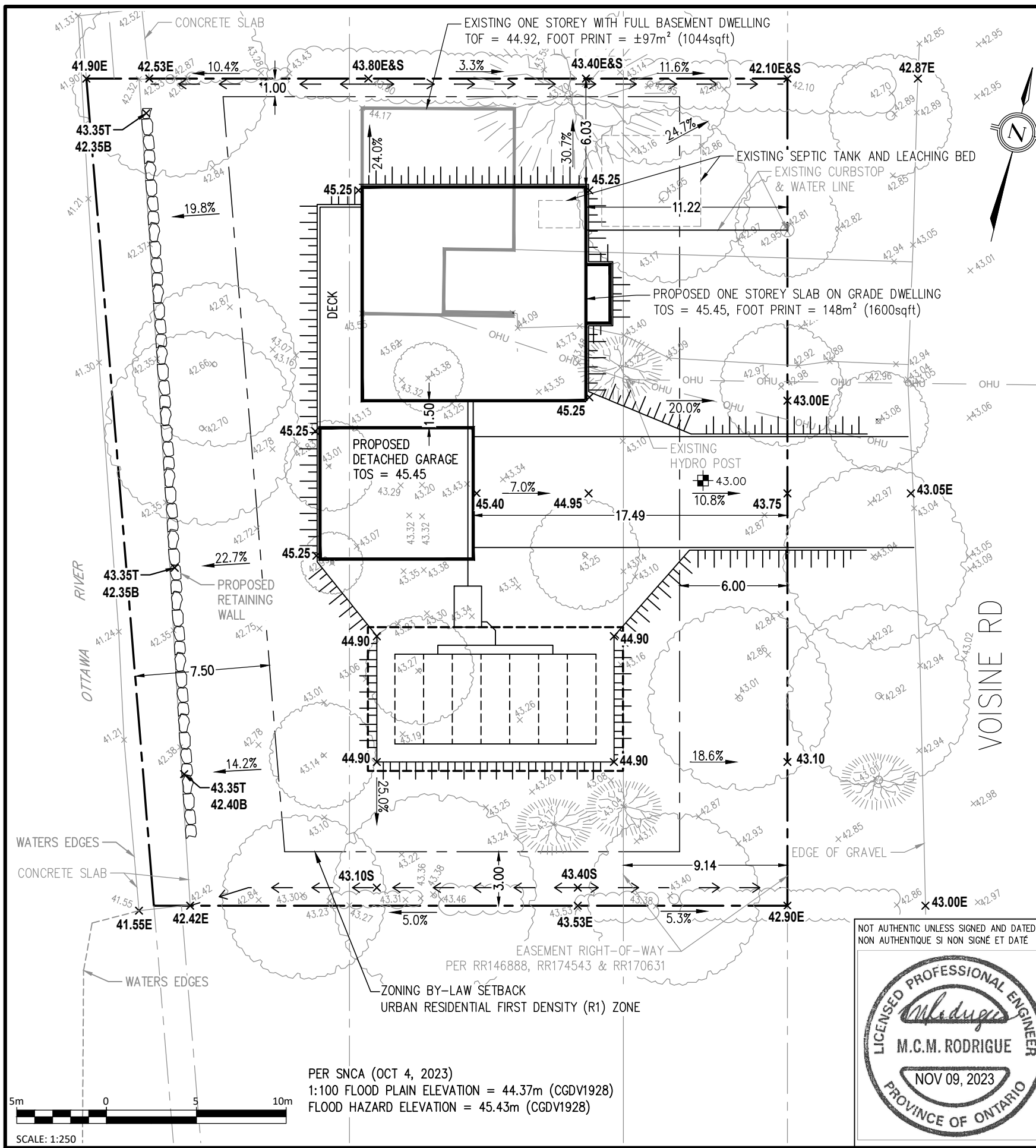
No excess drainage should be conveyed to the neighboring properties.

D. Requirements

- All new construction should be above 45.43 (CGVD 1928) elevation.
- All lowest openings should be set at 45.43 (CGVD 1928) or higher.
- There is no safe access to the property in a 100-year flood event. This should be noted.
- The septic outlet should be set at 44.37 (CGVD 1928) or higher.
- The 3-meter erosion access allowance is considered enough in this case due to the potential access by the Ottawa River.
- No runoff from the property should be conveyed to the neighboring properties.

Sincerely,

Shahin Zand
Water Resources Engineer
South Nation Conservation Authority



GENERAL NOTES:

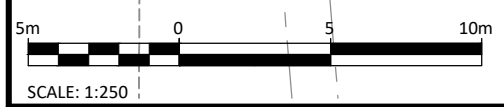
- ALL WORK TO CONFORM TO THE LATEST MUNICIPAL STANDARDS, THE PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS (OPSD AND OPSS), AND WHERE APPLICABLE / REQUIRED, LOCAL UTILITY STANDARDS AND THE ONTARIO MINISTRY OF TRANSPORTATION STANDARDS WILL APPLY.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE "ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT" AND ITS LATEST AMENDMENTS. THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTOR AS DEFINED IN THE ACT.
- SHOULD DEEPLY BURIED ARCHEOLOGICAL REMAINS BE FOUND ON THE PROPERTY DURING CONSTRUCTION ACTIVITIES THE HERITAGE OPERATIONS UNIT OF THE ONTARIO MINISTRY OF CULTURE MUST BE NOTIFIED IMMEDIATELY (416-314-7148). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING SOIL STRIPPING ACTIVITIES, BOTH THE ONTARIO MINISTRY OF CULTURE, AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF CONSUMER AND COMMERCIAL RELATIONS (416-326-8392), SHOULD BE NOTIFIED IMMEDIATELY AS WELL AS THE LOCAL POLICE.
- ALL TEMPORARY TRAFFIC CONTROL AND SIGNAGE DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ONTARIO TRAFFIC MANUAL - BOOK 7 - TEMPORARY CONDITIONS (LATEST EDITION).
- THE CONTRACTOR SHALL RECTIFY ANY DISTURBED AREAS TO ITS ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE GOVERNING AUTHORITIES.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL DRAWINGS, REPORTS AND SPECIFICATIONS THAT RELATE TO THIS PROJECT.
- ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS TO REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ENGINEER AS APPLICABLE. LOST TIME DUE TO FAILURE OF THE CONTRACTOR TO: 1) CONFIRM UTILITY LOCATIONS, AND 2) NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS, PRIOR TO CONSTRUCTION, WILL BE TO THE CONTRACTOR'S PERIL AND EXPENSE.
- THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES WITHIN THE SITE AND ADJACENT WORK AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO THE SATISFACTION OF THE GOVERNING AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE GOVERNING AUTHORITY.
- ALL DIMENSIONS ARE IN METERS UNLESS SPECIFIED OTHERWISE.
- THERE WILL BE NO SUBSTITUTION OF MATERIALS OR SPECIFIED PRODUCTS UNLESS PRIOR WRITTEN APPROVAL IS RECEIVED FROM THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, AND BEARING THE COSTS OF, ALL REQUIRED PERMITS, UNLESS SPECIFIED OTHERWISE.
- ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE CONTRACT ADMINISTRATOR AND/OR THE MUNICIPALITY PRIOR TO ANY TREE CUTTING / REMOVAL.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER PERTINENT AS-BUILT MEASUREMENTS, NOTES AND MARK-UPS TO ENABLE THE ENGINEER TO REVIEW AND PREPARE AS-BUILT GRADING AND SITE SERVICING PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE SITE BENCHMARK(S) HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION DEPICTED ON THIS PLAN.
- ANY EXISTING OR DISCOVERED WELLS OR MONITORING WELLS FOUND ON THE PROPERTY WILL NEED TO BE PROPERLY ABANDONED IN ACCORDANCE WITH O. REG. 903 AND ITS AMENDMENTS.
- ANY RETAINING WALL HIGHER THAN 1.0m SHALL BE DESIGNED AND STAMPED BY AN ENGINEER.
- ALL EXISTING TREES ON PROPERTY TO BE PROTECTED BEFORE AND AFTER CONSTRUCTION.
- EAVESTROUGHING TO BE INSTALLED AND DIRECTED TO THE FRONT OF THE PROPERTY.
- NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO NEIGHBOURING PROPERTY.
- NO PROPOSED ALTERATIONS TO GRADES ON, OR BEYOND, THE PROPERTY LINES.
- GRADING IN GRASSED AREAS TO BE 2-7% WHERE POSSIBLE, OR TERRACING IS REQUIRED UP TO A MAXIMUM OF 3H:1V.
- NATURAL DRAINAGE PATTERN IS TO BE MAINTAINED IN THE OVERALL GRADING OF THE PROPERTY.
- INSULATION TO BE USED IF GROUND COVER IS LESS THAN 1.5m FROM UNDERSIDE OF FOOTING. REFER TO STRUCTURAL DESIGN FOR DETAILS.
- THE TOPOGRAPHICAL SURVEY WAS CARRIED OUT ON NOV 20, 2019 BY ADSI (ARPEMAGE DUTRISAC SURVEYING INC). THE SURVEY WAS PERFORMED IN NAD83(CSRS) MTM ZONE 9 COORDINATE SYSTEM. GEODETIC ELEVATIONS SHOWN ARE DERIVED FROM CGVD28:78. THIS PLAN SHOULD NOT BE CONSIDERED A LEGAL SURVEY AS DEFINED BY THE SURVEYOR ACT OF ONTARIO.

LEGEND

- SITE BOUNDARY
 - EXISTING PROPERTY LINES
 - EXISTING FEATURES
 - PROPOSED DRIVEWAY
 - PROPOSED SWALE
 - 3H:1V MAX TERRACING
 - 4H:1V MAX SEPTIC TERRACING
 - PROPOSED ELEVATION
 - ×99.99 PROPOSED SWALE ELEVATION
 - ×99.99S PROPOSED TOP OF WALL ELEVATION
 - ×99.99B PROPOSED BOTTOM OF WALL ELEVATION
 - ×99.99E MATCH EXISTING ELEVATION
 - ×99.99 EXISTING ELEVATION
 - 0.0% SURFACE RUN-OFF DIRECTION
 - TOF TOP OF FOUNDATION
 - TOS TOP OF SLAB
 - EXISTING BUILDING ENVELOPE
 - PROPOSED BUILDING ENVELOPE
- | |
|--|
| B.M. No. 1 ELEVATION: 44.92m |
| TOP OF FOUNDATION OF EXISTING BUILDING |
| B.M. No. 2 ELEVATION: 44.21m |
| CONTROL MONUMENT 0011970U183, TOP OF CULVERT |



SATELLITE IMAGE N.T.S



PER SNCA (OCT 4, 2023)
 1:100 FLOOD PLAIN ELEVATION = 44.37m (CGDV1928)
 FLOOD HAZARD ELEVATION = 45.43m (CGDV1928)

NOT AUTHENTIC UNLESS SIGNED AND DATED.
 NON AUTHENTIQUE SI NON SIGNÉ ET DATÉ

ASCELIN ENGINEERING & ASSOCIATES
 1010 STENCE AVENUE SUITE 14
 HAVRESBURG, ONTARIO N5A 1H9
 OFFICE: (613) 632-0241

NO FOR CONSTRUCTION TENDER OR PERMIT

DRAWN BY: S.E.
 DESSINÉ PAR: S.E.
 CHECKED BY: M.C.R.
 VÉRIFIÉ PAR: M.C.R.
 DATE: NOV 09, 2023

FILE No. 2110320
 No. DU DOSSIER: 2110320
 DRAWING No. 210329-GR
 No. DU DESSIN: 210329-GR

01	DOCUMENT FOR SNC BOARD HEARING	NOV 09, 2023	S.E.
00	ISSUED FOR PERMIT	FEB 07, 2023	M.C.R.
No. OF REVISIONS		DATE	BY/PAR
CLIENT: DANNIE VILLENEUVE			
DRAWING TITLE / TITRE DU DESSIN: CONCEPTUAL SITE GRADING & DRAINAGE PLAN			
PROJECT LOCATION / LOCALISATION DU PROJET: 170 VOISINE RD, ROCKLAND, ON K4K 1A1 (PT LOT 30/CON 1 OS) (50R-3646 PART 2)(PIN 69057-0030 LT)(ROLL 021-00201500-0000-4)			



Permit Application Form

ONTARIO REGULATION 170/06:

Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses
 made pursuant to Section 28 of the Conservation Authorities Act, R.S.O. 1990, c. C.27

Landowner Information

Name(s): Dannie Villeneuve Address: 984 Laporte St.
Rockland (ON)
 Organization: _____ Postal Code: K4K 1A5
 Bus. Tel.: 613-446-1398 Email: dannie.villeneuve.13@ktsnetmail.com
 Cell: 613-222-1467 Fax: _____

Agent Information

Name: _____ Address: _____
 Organization: _____ Postal Code: _____
 Bus. Tel.: _____ Email: _____
 Cell: _____ Fax: _____

Pre-application Consultation

Pre-application consultation is encouraged to expedite the application process. This pre-consultation may be in the form of a phone conversation, meeting, email, or site visit.

An application must be deemed complete with all supporting documentation before being processed.
Insufficient information may delay or prevent processing of the application.

Have you conducted any pre-consultation with a Regulations Officer or Planner at South Nation Conservation to determine site issues and technical requirements for this application?

Yes No If yes, please specify and provide any records correspondence:

Many communications between me, SWCA, Francois Elie by e-mails, zoom meetings and a site visit by Geoff Oubus.



Location of Proposed Works

Property Assessment Roll No.: 021-00201500-0000-4

Municipal Street Address: 170 Voisine Rd.

Current Municipality: Rockland. Former Municipality: _____

Lot: Pt Lot 30 Concession: Con 1 OS Structure Identification No.: _____

Reg. Lot No: _____ Reg. Plan No: _____

Project or Property Coordinates (optional):

UTM Easting _____ UTM Northing _____

Latitude _____ Longitude _____

Other Identifier (ex. road crossing): Private Rd.
50R-3646 PART 2, PIN 69057-0030 LT

Purpose of Proposed Works

- Place or remove fill, or grading
- Construct new building
- Addition or renovation of building
- Erosion control or shoreline work
- Install sewage disposal system
- Construct pond or reservoir
- Alter a watercourse (e.g. crossing, relocation, culvert, bridge)
- Install dock
- Other (please specify): _____

Project Details

Description of proposed works: _____

Demolition of existing dwelling
Residential Construction of new dwelling, and private
and double car garage with breezeway septic system.

Proposed start date: 2024 Anticipated date of completion: 2026

Existing use of land (i.e. vacant, residential, etc.): Residential dwelling.

Proposed use of land: residential dwelling.



Agent Authorization

This agent authorization section must be completed and signed by the property owner(s) if this application is submitted by an agent on behalf of the owner(s) or if the proposed works are to be carried out by an agent on behalf of the owner(s). If the owner is a corporation acting without an agent, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

Note to the owner(s): If the application is prepared by an agent, authorization should be withheld until the application and any supporting documents have been examined and approved by you, the owner(s).

I/We, _____ [print owner(s)'s name(s)], hereby authorize _____ [print agent's name or organization], to provide as my agent any required authorizations or consents, to submit the enclosed application to South Nation Conservation, and to appear on my behalf at any hearing(s) of the application and to provide any information or material required by SNC Staff and the SNC Board of Directors relevant to the application for purposes of obtaining a permit in accordance with the requirements of Ontario Regulation 170/06.

Signed at the city/town of _____.

Signature of Property Owner(s): _____ Date: _____

Signature of Property Owner(s): _____ Date: _____

Utility Providers — As appropriate, to be completed by utility providers. The following is considered landowner authorization and SNCA does not require additional documentation.

- Right of Way/Public Place (Existing municipal right of way/public place and is permitted as agreed to by the utility company and the municipality or other landowner.)
- Non-Road Allowance Occupations (Existing easement, agreement, license, lease, permit or property purchase.)
- Private Property/New Subdivision (Project is located on private property that the utility company has been invited onto to install services.)

Terms and Conditions

- I. Permits or approvals may be required from other federal or provincial agencies, and/or municipalities prior to undertaking the proposed work. SNC permission does not exempt the owner/agent from complying with any or all other laws, statutes, ordinances, directives, regulations, or approvals that may affect the proposed work and the property or the use of same.
- II. Fees paid are for application processing only. SNC Staff reserve the right to refuse permission based on its interpretation of Ontario Regulation 170/06 and SNC regulation policies. All applicants are granted the right to a hearing under Section 28(12) of the *Conservation Authorities Act*.
- III. Permits are transferable so long as site conditions and plans remain unchanged from the date the permit was issued.
- IV. SNC may cancel or change a permit granted under Ontario Regulation 170/06 if (1) false information was submitted as part of the permit application or (2) the work deviates from the conditions of the permit without SNC's prior written approval.
- V. An SNC appointed officer may enter on private property, other than a dwelling or building, if the entry is for the purpose of considering a request related to the property for permission that is required by Ontario Regulation 170/06. SNC will not enter the property without first contacting the landowner for permission.
- VI. Every person who contravenes Ontario Regulation 170/06 or the terms and conditions of an SNC permit is guilty of an offence and on conviction is liable to a fine of not more than \$10,000 or to a term of imprisonment of not more than three months [*Conservation Authorities Act* ss. 28(16)]. An order may also be issued for removal of the offending structure or material [*Conservation Authorities Act* ss. 28(17)(18)(19)].



I/We the undersigned hereby certify to the best of my/our knowledge and belief that all the above-noted, attached and/or supporting documentation information is correct and true. I/We further solemnly declare that the contents of the application and specifically the terms and conditions, and the declaration which is written below have been read.

By signing this application, the owner(s) grants SNC, its employees, and authorized representatives' access to the property for the purposes of obtaining information and monitoring any approved works pursuant to Section 28(20) of the *Conservation Authorities Act*. SNC will not enter the property without first contacting the landowner for permission.

Name of Owner(s): Dannie G Villeneuve

Signature: Dannie G Villeneuve Date: November 17th 2023

Name of Agent: _____

Signature: _____ Date: _____

Collection of Information

Personal information is collected in accordance with Ontario Regulation 170/06. Information submitted in this application may be disclosed to departments or agencies of local, provincial, or federal government for review and comment. It may also be disclosed to members of the public in accordance with the requirements of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56. Questions about the collection of information should be directed to South Nation Conservation.

Minimum Application Requirements

The following information is required to meet the requirements of Ontario Regulation 170/06. All items listed below that are applicable to your application must be indicated and accompany the submission before your application can be deemed complete.

Additional information prepared by qualified professionals may be required to process a permit application including, but not limited to:

- a. topographic surveys or lot grading/drainage plans;
- b. flood plain analysis/delineation studies, hydrology/hydraulic analysis;
- c. environmental impact studies;
- d. stormwater management plans; and
- e. slope stability and erosion studies.



General Requirements
(all applications)

- Completed application form signed and dated by applicant(s) or authorized agent.
- Correct application fee included. If the fee amount is to be determined after the submission, this requirement is not applicable.
- Location map of subject property in relation to surrounding roads, buildings, and waterbodies providing clear travel directions. If subject property assessment roll number is provided, this requirement is not applicable.
- Plan of property showing lot line dimensions and area of subject property to scale. Submission of a survey plan is preferred.
- Site rehabilitation or restoration plan, if required.
- Letter describing the nature of the proposed works if further details are necessary. *of the rationale*
- Provide photographs of the area to be altered.

From the list below, please identify and complete the sections pertinent to the project:

1. Construction of New Building or Reconstruction or Additions, and/or Renovations to a Building

- Location, area and dimensions of existing structures, wells and septic system to scale on the property.
 - Both existing and proposed final grades including development envelope, area of septic system, road frontage and private drive referenced to a geodetic datum.
 - Construction drawings to scale in plan view and cross-sectional detail showing proposed use of each floor or level of building including area under main floor (i.e. basement, crawl space, etc.).
 - Grade elevation(s) of the lowest and all exterior openings (i.e. windows, doors, etc.) in relation to final grades and elevation of basement floor slab/crawl space floor.
 - Flood proofing measures prepared by a professional engineer in accordance with SNC policy or geotechnical report prepared by a professional engineer where unstable slopes or soils involved.
 - Details of erosion and sediment control measures to be implemented prior to commencement of work and throughout the construction period, if required.
-



2. Place or Remove Fill

- Site restoration plan including planting detail.
 - Location, type, source and, amount in cubic metres of fill material. Note: Please provide the same information for cut, where applicable.
 - Plan view and cross-sectional detail to scale showing existing grade and proposed final grade elevations referenced to a geodetic benchmark.
 - Construction techniques including phasing, if any, and method of filling.
 - Geotechnical report prepared by a professional engineer in accordance with established standards and procedures when adjacent to steep and/or unstable slopes or when situated on organic soils, leda clay, or unstable bedrock.
 - Fill deposit, where required.
 - Details of erosion and sediment control measures to be implemented prior to commencement of work and throughout the construction period.
-

3. Alteration to a Watercourse

- Construction style drawing to scale showing, in plan view and cross-sectional detail, the existing and proposed watercourse or watercourse crossing detail.
 - Erosion and sediment control measures to be implemented prior to commencement of work and throughout the construction period.
 - Site restoration plan including planting details.
 - Details of staging of construction (i.e. commencement, order of works, completion, etc.)
 - Detailed description of construction techniques and materials to be utilized.
-

SENDER: Dannie VilleNeuve
984 rue Laporte
Rockland (ON) K4K 1A5

DATE: November 16th, 2023

RECIPIENT: South Nation Conservation Authority - SNC
38 Victoria Street
Finch (ON) K0C 1K0

SUBJECT: Request for new construction
170 Voisine Road Rockland (ON) K4K 1A1

Dear members of the Board of Directors and members of the relevant committee,

I hereby wish to submit a request for a new construction at 170 Voisine Road within the City of Clarence-Rockland, Ontario. To support my request, I rely on the loss of habitable space by condemning the basement of the current residence. I also rely on the fact that the present no safe passage will not be affected by the new construction. In addition, my current state of health imposes physical limits on my mobility which is the main factor of a one story construction which requires additional footprint.

The reasons for my request are multiple. First, I must bring to your attention that the 2017, 2019 and 2023 floods on the Ottawa River caused damage to the

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foundation and basement floor of my property. During his visit in spring 2021, Mr. Geoff Owens, who was the Regulations Officer for South Nation Conservation at that time, observed the damages and documented them with pictures which could be used as supporting evidence to this statement. These photos must certainly be available in my file at South Nation Conservation.

By carrying out a new construction, I will be able to raise the general grade of the property and of the house to the 1:100 flood elevation which will significantly reduce any risk of damage by flooding in the future. The new construction will be in accordance with required elevations and ensure that the foundations are structurally reinforced to resist flooding pressure and hydrostatic pressure. By this very fact, the new construction will respect the City of Clarence-Rockland and the South Nation Conservation elevation requirement.

Attached to this document is a preliminary grading and drainage plan prepared by Lascelles Engineering and Associates Limited, which demonstrates that the new construction can be properly graded to direct any surface water runoff away from the neighboring property. The grading plan also demonstrates that there is sufficient room to accommodate a new private septic sewage system for 1600 square feet dwelling with maximum two (2) bedrooms. It should be noted that the dwelling is serviced by municipal water.

As you may have also noted on the conceptual grading plan attached to this letter, the construction would consist of a new one-story dwelling on a slab on grade foundation, therefore no basement. Prior to the floods of 2017 and 2019, the total living space was more or less 1750 square feet (basement included) which was reduced to about 900 square feet after the floods. Prior to the 2017 flood, there was also a third bedroom which was in the basement. By proposing a new one storey construction of more or less 1600 square feet of living/habitable space, I would be in theory reducing approximately 150 square feet of living/habitable space. Furthermore, the new construction is for a (2) bedroom dwelling limiting and even reducing the potential number of occupants from the existing dwelling prior 2017. Also, at the main floor of the new construction, I will need to allocate some square footage for a mechanical room for the hot water tank, the furnace and the air exchanger, storage area and a laundry room which is not considered living/habitable space.

It was understood during meetings with South Nation Conservation that there is no "safe access" to the property, therefore limiting the proposed construction to a replacement building/structure equal or less to the original footprint.

The proposed new construction would not meet this policy. However, the potential occupants will technically be reduced from the 2017 building and therefore having a positive effect on the statement of no safe access.

Another personal reason supporting the new construction is that following the second flood and at the start of the pandemic, my partner died of cancer and this changed my life plans. From that moment, I had to maintain two properties and as you know, this involves several financial and personal issues.

Third, in March 2022, I was infected with the COVID-19 virus which resulted in a diagnosis of long COVID, chronic fatigue and chronic pain. In March 2023, I was struck by a second infection of the same virus. Since March 2022, I have been an experienced teacher on sick leave due to symptoms following infections. One more reason why I must seal off the basement so that all the rooms are easy to access and without stairs; given that I do not have a crystal ball and unfortunately cannot predict my state of health (nor the doctors and Science for that matter) in future years, I must be proactive and move forward with house plans that will meet my state of health and will respect certain mobility criteria.

We ask at this hearing that the proposed construction be allowed considering that the number of occupants will not increase even if the footprint of the dwelling would. If 1600 square footage is not a possibility, at minimum, that the allowable 900 square foot construction which would meet policies be increased to a greater number that South Nation Conservation would consider and approve. I would adapt my construction with the new allowable footprint if needed.

I agree to respect all floodplain requirements and regulations with the proposed construction. Furthermore, my request does not exceed the objectives sought and desired by SNC in terms of the preservation of flood plains.

Finally, once we have established the allowable square footage, I will prepare all documents and plans required by South Nation Conservation and the City of Clarence-Rockland to obtain a building permit.

Thank you for carefully considering my request which does not exceed the acceptable parameters of a new construction.

Please accept my best regards.

Dannie VilleNeuve, owner of property at 170 Voisine Rd., Rockland
984 Laporte Street
Rockland (ON) K4K 1A